

**CITY OF BOCA RATON COMMUNITY APPEARANCE BOARD
ORDER OF DECISION**

Permit No.: CRITERIA

Agenda Date: 07/14/2015

MOTION: Approved With Conditions Postponed
 Approved As Submitted Denied

VOTES

	Y	N	Abstain	Absent
JoAnn Lee	✓			
Juan Caycedo	✓			
Krsto Stamatovski	✓			
Alan West	✓			
Joe Peterson	✓			
Jess M. Sowards	✓			
Mark Jacobsen	✓			
Derek Vander Ploeg	✓			

ITEM# 8

DESCRIPTION:

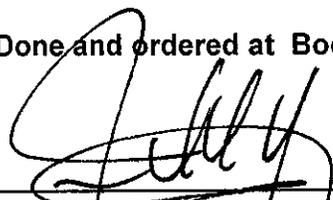
Project Name: MIZNER COURT CONDO WINDOW CRITERIA - RESIDENTIAL BUILDING
Job Address: 100 SE 5 AVE
Representative: BRUCE DILLER

CONDITION:

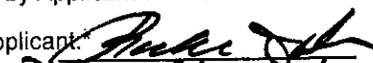
The Community Appearance Board hereby imposes the following condition(s):

** 24 MONTH TIME PERIOD.*
PAINTING OF EXISTING WINDOWS WILL BE COMPLETED w/ IN 24 MONTHS OF FIRST PERMIT
LETTER OF BOARD ACTION TO BE FILED w/ CITY.

Done and ordered at Boca Raton, Palm Beach County, Florida on: 07/14/2015



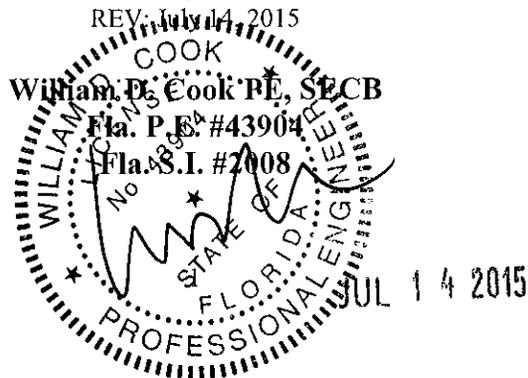
 Juan Caycedo, Chairman
 Jess M. Sowards, Vice Chair
 Community Appearance Board

OFFICE USE ONLY	
Date Received by Applicant*:	07/14/2015
Signature of Applicant:	
Print Name:	Rochelle Diller
* Note: Indicates acknowledgement of conditions	

GENERAL SPECIFICATIONS
FOR
WINDOW & DOOR REPLACEMENT

Prepared For:
MIZNER COURT ASSOCIATION
100 120 140 South East Fifth Ave.
Boca Raton, FL 33432

Prepared By;
Bromley-Cook Engineering Inc.
5440 NW 33rd Ave.
Suite-100
Ft. Lauderdale, Florida 33309



Mizner Court General Specification

Introduction

Scope of Work:

A. These specifications are a **General Specification** to provide a guide for the replacement of the windows and doors in the Individual Condo Units. General Requirements, procedures and scope is included.

Each Individual Unit shall require a separate permit with a full and complete permit submittal package to be submitted as well to the Association for their written approval in addition to any required municipal approvals. Nothing contained herein shall preclude Contractor from applying for multiple separate permits on behalf of Individual Units at any given time.

Following is an outlined Scope of Work. The specific work operations shall follow in the various sections of the Technical Specifications.

B. Related Sections - Index:

1. General Requirements

- A. Contractor
- B. License
- C. Insurance
- D. Safety
- E. Area Protection
- F. Window and Door Damage
- G. Shutter Removal
- H. Weather Protection
- I. Restrooms
- J. Daily Clean-up Regiment
- K. Work Schedule

1.2 Permit

1.3 Warranties

1.4 Owner Requirements

1.5 Contracts

2. Code Requirements

2.1 City Requirements

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2.3 Wind Pressure Requirements

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3. Replacement of Balcony Doors

3.1 Demolition and Preparation

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4. Replacement of Windows

- 4.1 Demolition and Preparation
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5. Products

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- 5.2 Sealants and Flashing
- 5.3 Acceptable Window and Door Profiles
 - A. Windows fixed and casement
 - B. Balcony Swing doors
 - C. Paint
 - D. Glass
 - E. Fall Protection for Windows
- 5.4 Quality of Fenestration Products and Glass Distortion
- 5.5 Spare Parts

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- A. Site Conditions
- B. Clean Up
- C. Inspections
- D. Documents
- E. Water Testing

8. Drawings / Details

9. Deviation from Specifications

10. Contractor Acceptance of Specifications

Part 1. General Requirements

1.1 Contractor

A. CONTRACTOR- The Contractor shall provide all labor, materials, staging, shoring, tools and equipment as necessary to replace the windows and perform the work as described in this specification.

The Contractor shall be qualified to perform the work specified by reason of experience and or training. The Contractor shall arrange with Owner and Association to coordinate the necessary accommodations for the safety as well as the execution of the project.

A qualified foreman must be on the job at all times who shall be subject to approval and direction of the Unit Owner and Association. All foremen must be able to speak fluent English.

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Contractor shall utilize skilled workmen who are experienced in Fenestration installation processes and methods necessary for proper performance of the work.

Workmen must be trained and familiar with the Products being installed and scope of work.

NOTE: Refer to Association Guidelines for Acceptable Window Replacement Contractors.

B. LICENSE- All Contractors and subcontractors shall hold a current Palm Beach County contractors license and/or applicable State of Florida license. A copy of these shall be filed in the office of the Association on site at all times.

C. CERTIFICATE OF INSURANCE- The Contractor shall provide Certificates of Insurance to the Owner and shall indemnify the Association and the Owner to the following limits where applicable.

Comprehensive General Liability:

Bodily Injury- 1M Each Occurrence; 1M Aggregate.
Property Damage- 1M Each Occurrence; 1M Aggregate.

Commercial Auto Liability:

Bodily Injury- 1M Each Occurrence; 1M Aggregate.
Property Damage- 1M Each Occurrence; 1M Aggregate.

Umbrella Liability:

Bodily Injury- 2M Each Occurrence; 2M Aggregate.
Property Damage- 2M Each Occurrence; 2M Aggregate.

Additional insurance for site stored materials shall be determined between Contractor and Owner.

Contractor shall immediately notify Association and Owner if any of the above coverages are cancelled or changes.

D. SAFETY- The Contractor is responsible for all safety measures and must conform to OSHA requirements. Job site safety is the responsibility of the Contractor. It is the Contractors responsibility to cordon off all areas of construction, wear proper safety equipment and clothing. Employees shall be properly trained in the use of tools and safety procedures at all times. For safety purposes areas shall be cordoned off that will be undergoing construction and demolition. The Contractor shall coordinate with the Association for the posting of signs and warnings. If required, it shall be up to the Contractor to make arrangements with Association for Association to coordinate relocation of all vehicles or personal effects which might be impacted. All fire regulations and egress shall be maintained.

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E. AREA PROTECTION- All areas of the grounds, buildings, interior rooms, windows, parking areas, pool and pool deck, cars, and patios, shall be left clean and unaffected. Plants, shrubbery, and trees shall be protected or replaced by contractor if destroyed or damaged. Adequate protection and great care shall be taken inside the Common Areas, if workers, materials and equipment are taken through these areas. Adjacent surfaces shall be protected.

F. WINDOW/DOOR DAMAGE- If during the replacement period, any new or existing glass, windows, or doors are broken, the Contractor shall replace the glass promptly. If this cannot be done in the same day then the window shall be properly covered.

G. SHUTTER REMOVAL- All shutters shall be permanently removed for this project if necessary. Cost of removal and disposal shall be part of the bid.

H. WEATHER PROTECTION OF APARTMENT UNITS- Contractor shall maintain water tight integrity of the apartments and shall fully protected in event of inclement weather. In the event of a Tropical Storm or Hurricane Warning, any openings shall be fully protected with $\frac{3}{4}$ " APA plywood fully secured with $\frac{1}{4}$ " dia. Tap-cons around the perimeter at 12" o/c. Removal of any windows or doors shall be prohibited at any time under a Hurricane Watch.

I. RESTROOMS- If approved by Association, Contractor may maintain a portable restroom on site for use by workers. The unit shall be cleaned regularly and shall be placed where directed by the manager. Association Common Area rest rooms shall not be used by Contractor without written consent of Association.

J. DAILY CLEAN UP REGIMENT- Contractor shall maintain a daily clean up regimen. At the end of each work day all equipment, scaffolding, lifts, swings and lines shall be stowed and secured. Site and work areas shall be cleaned. All materials and containers shall be secured and properly sealed.

K. WORK SCHEDULE- Contractor shall be allowed to work from 8 am until 5 pm each work day. Extended schedules must be approved by Association in writing. Work moratorium shall be November 15 through April 30. All Work must be completed prior to November 15. Extended schedules must be approved in writing by Association.

1.2 Permit

A. PERMIT- It is the responsibility of the Contractor to purchase and obtain the necessary permits from City of Boca Raton Building Department to begin the project.

The permit shall be posted on the project. A Notice of Commencement shall be supplied to the Owner as required and shall be posted on site with the permit.

Mizner Court General Specification

Contractor is responsible to maintain an active permit and to call for inspections as required by the Association as well as the city.

NOTE: Each Individual Unit shall require a separate permit. A copy is to be provided to the Association in accordance with the declaration of condominium. This is the responsibility of the Contractor.

1.3 Warranties

A. WARRANTIES- All products shall have the following warranties:

- Glass shall have a 5 year warranty against delamination or defects as provided by the manufacturer.
- Window and door products including hardware shall have a 5 year warranty against defects.
- Paint finish shall have a 10 year warranty against paint failure, pitting, peeling, flaking and chalking as provided by the manufacturer.
- Installation and labor for windows, doors and sealants shall have a 2 year warranty against defects.
- Caulking shall have a 10 year warranty against defects as provided by manufacturer.

The warranty shall be effective from the date of final inspection and approval by the City of Boca Raton Building Inspector. Proof of warranty shall also be provided to the association.

1.4 Owner Requirements

A. OWNER- The Owner agrees to supply the Association with a copy of the Contract between the Owner and the Contractor ("Contract") and that Contract shall address the following matters:

Unless otherwise approved by the Association, (1) Contractor to use only Owner's electricity and water as required to complete all necessary work, and (2). Contractor will not have access to Common Area water and electric.

The Contract shall specify who is responsible for moving and removing all pictures, window coverings, valences, drapes, shutters, furniture and rugs from the areas to be worked on. The area within 6' of the windows shall be clear of belongings. This shall be fully coordinated between the Owner and the Contractor.

Prior to start of Work, the Contractor shall document the condition of the apartment and supply a copy to the Association and the Owner to assure that no additional damage is caused by the Contractor.

Window sills and surrounds must be checked for cracks and documented. Sills will be replaced by window contractor if broken by the contractor. Owner may contract separately with the contractor for replacement of some or all window sills. Video or photo evidence must be taken prior to start of work in each unit.

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Security within the unit is Owner's responsibility, not Association's. Contract to state who is responsible for covering all book cases, furniture, etc. to prevent dust collection.

Contract to state after completion of all work, who is responsible to re-install all removed items, who is responsible to patch and sand smooth any interior wall damage and exterior stucco damage incidental to the fenestration replacement and who is responsible for re-painting or wall papering as required. Contract to provide for 10% retainage. Retainage shall not be released by Owner until Association has inspected and provided Owner with written approval.

1.5 Contract

The Association is not a party to the Contract between Owner and Contractor but the Owner and Contractor shall not be bound by the Contract until it has been reviewed and approved by Association.

The work contract between Each Unit Owner and the Contractor shall be mutually selected and reviewed by the respective attorneys. The AIA contract may be used. The Contract shall include this set of Specifications by insertion as an exhibit, and said Exhibit shall be signed by the Contractor, the Association and the unit Owner.

Part 2. Code Requirements:

2.1 City Requirements for Replacement:

A. REPLACEMENT - All replacement products must meet current building code requirements for wind loads and impact resistance. More stringent requirements may be specified within these specifications. The more stringent shall govern. Each living area shall also have an operable window or door providing ventilation which meets the current building code for ventilation and light.

New products shall be of LIKE KIND to that of original installation, save for those required by applicable codes for impact glass, and shall match existing building configuration as related to profiles and mullion locations as close as possible and as approved by CAB.

B. SAFETY - All windows with sills less than 36" above finished floor shall have a safety bar or shall be limited to an opening of 4" clear gap as per Code Requirement. This is not required where the windows or doors open to a balcony, or ground floor units.

2.2 Impact Requirements:

A. IMPACT RESISTANCE - Impact requirements are as follows:

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This building shall have large missile impact glass installed for all openings as requested by the Board. Small missile shall not be used.

2.3 Wind Pressure Requirements:

A. WIND LOADS – Wind loads shall be based on ASCE 7-10 @ 170 mph, Exposure-D, Enclosed building, I = 1.0, GCpi = 0.18, Kd=0.85
This meets or exceeds the requirements of Palm Beach County.

Doors: P = +60 psf - 60 psf Interior Zone
P = +60 psf - 71 psf Corner Zone

Windows: P = +60 psf - 64 psf Interior Zone
P = +60 psf - 78 psf Interior Zone

Corner Zone Length is 6' from all corners.

B. RATED WATER TEST PRESSURE – Rated Water test pressure for windows and balcony doors shall be no less than 12 psf on the product approvals.

Refer to Section 7.1 E for information on field water testing of installed units.

2.4 Glass Tint Requirements:

A. GLASS TINT – All new glass shall have inside lite clear and the exterior lite shall be Solex Green to match existing windows.

2.5 Product Approvals:

A. Product Approvals – All new products shall have a current Miami Dade County Notice of Acceptance or State of Florida Acceptance for use within the HVHZ.

This may be a "site specific NOA" or standard NOA. The Approval shall clearly show that the product complies with the wind load, impact and water infiltration requirements for this project. Installation details and proper anchorage spacing shall be shown. Test reports for the products shall be attached to the project drawings until the NOA is obtained.

Part 3. Replacement of Balcony Doors:

3.1 Demolition and Preparation:

A. DEMOLITION – Remove all existing frames and anchors from the openings except where noted on the plans. Remove existing perimeter sealants and clean to bare concrete where required.

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Remove all existing perimeter fasteners and existing door frame. Clean all exposed surfaces of sealants, dust and deleterious materials.

Patch all chipped or cracked concrete prior to new installation.

Contractor shall maintain two sets of carts or dollies. One shall be used only within the building to maintain clean wheels. The other shall be used outside the building for dumpster runs.

B. BUCKS – Replace all existing bucks. Install new 1x4 PT or PT Plywood wood buck at head and jambs. New wood material shall be dry and not moisture saturated. Set new buck in thick bed of sealant. Anchor buck to concrete with ¼" dia. concrete screws, 4" from ends and balance at 16" o/c. Embed bucks 1 ½" min. into concrete substrate.

Seal corners of bucks and all buck joints. Verify compatibility of buck sealant and buck material with sealant manufacturer.

New bucks shall be installed to properly support the window and door frames.

Existing door head receptor shall remain in place. Install aluminum filler tube into the existing receptor and fasten directly through into the substrate.

C. FLASHING – All surrounds shall be flashed with urethane after being installed and correctly anchored. Apply Vulkem 45SSL Sealant with quick cure. Strictly follow manufacturer's recommendations for preparation and application. Allow to cure for 1 to 2 hours prior to Door installation.

3.2 Installation:

A. INSTALLATION - New balcony doors shall be installed into prepared openings. Field verify all dimensions prior to ordering products!

Door frames shall be installed square and plumb. Sills shall not slope in. Door panels shall be installed in accordance with the product approval with all seals and stops. Doors shall open smoothly and all locks shall work without excessive force.

Good construction practice shall be applied.

B. PERIMETER ANCHORS – Perimeter anchors shall be installed in accordance with the product approval for size and spacing. All anchors shall be concrete screws and shall penetrate through the buck and into the concrete substrate the required depth. Prior to installing threshold screws, pump sealant into holes, and then install fasteners.

All anchors shall be fully shimmed with plastic horseshoe shims. Anchors shall be tight on shims.

Note! If concrete block at jambs is hollow (not concrete filled) then do not use a hammer drill for pilot holes. Use normal drill function to prevent blowout of the concrete block.

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C. THRESHOLD – Threshold shall be installed level on a solid base. Set threshold on existing concrete base. If base is not level, use high strength non-shrink grout to level base before installing. Do not shim threshold.

Before installing threshold tapcons, blow out all drill holes and install sealant into the pilot hole. Then seal heads of all tapcons.

D. SEALANTS – Properly seal all joints in the door. Threshold to jamb joint shall be bedded with an additional seal. Front edge shall be fully sealed to the substrate.

Exteriors shall be fully sealed around the perimeter. The seal shall be installed over a soft-cell backer rod. Follow sealant manufacturer's recommendations and install in a neat and workmanlike manner.

All surfaces shall be cleaned with denatured alcohol or xylene using a two rag wipe prior to applying sealants. All dust, oils or materials shall be removed. New sealants shall only be applied to clean surfaces.

All sealants shall be properly tooled and smoothed with sealant tools. Do not use fingers. Sealant manufacturer shall be performing site inspections to approved sealant applications.

E. TOUCH UP – All scratches shall be cleaned with denatured alcohol and touched up with manufacturers paint per manufacturers recommendations in order to retain full warranty.

Part 4. Replacement of Windows

4.1 Demolition and Preparation:

A. DEMOLITION – Remove all existing frames and anchors within the openings. Remove existing perimeter sealants and clean to bare concrete where required.

Remove all existing perimeter fasteners and existing window frames. Clean all exposed surfaces of sealants, dust and deleterious materials. All removals to be transported off-site by Contractor.

Patch all chipped or cracked concrete prior to new installation.

Contractor shall maintain two sets of carts or dollies. One shall be used only within the building to maintain clean wheels. The other shall be used outside the building for dumpster runs.

B. BUCKS – Existing beveled window bucks shall be replaced. Install new 1x4 or plywood PT wood buck at head and jambs. New wood material shall be dry and not moisture saturated. Bed the new buck in thick bead of sealant. Also seal the leading edge of the buck. Anchor buck to concrete with ¼" dia. concrete screws 4" from ends and balance at 16" o/c. Embed bucks 1 ½" min. into concrete substrate.

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Seal corners of bucks and all buck joints. Verify compatibility of buck sealant and buck material.

New bucks shall be installed to properly support the window frames

C. FLASHING – All surrounds shall be flashed with urethane after being installed and correctly anchored. Apply Vulkem 45SSL Sealant with quick cure. Strictly follow manufacturer's recommendations for preparation and application. Allow to cure for 1 to 2 hours prior to Door installation.

4.2 Installation:

A. INSTALLATION - New windows shall be installed into prepared openings. Field verify all dimensions prior to ordering products!

Frames shall be installed square and plumb. Sills shall not slope in. Window panels shall be installed in accordance with the product approval with all seals and stops. Panels shall open smoothly and all locks shall work.

Good construction practice shall be applied.

B. PERIMETER ANCHORS – Perimeter anchors shall be installed in accordance with the product approval for size and spacing. All anchors shall be concrete screws and shall penetrate through the buck and into the concrete substrate.

All anchors shall be fully shimmed with plastic horseshoe shims. Anchors shall be tight on shims.

Note! If concrete block at jambs is hollow (not concrete filled) then do not use a hammer drill for pilot holes. Use normal drill function to prevent blowout of the concrete block.

Before installing sill fasteners, install sealant into the pilot hole. Then seal heads of all fasteners.

C. SEALANTS – Properly seal the perimeter frame of the windows. Exteriors shall be fully sealed around the perimeter. The seal shall be installed over a soft-cell backer rod. Follow sealant manufacturer's recommendations and install in a neat and workmanlike manner.

All surfaces shall be cleaned with denatured alcohol or xylene using a two rag wipe prior to applying sealants. All dust, oils or materials shall be removed. New sealants shall only be applied to clean surfaces.

All sealants shall be properly tooled and smoothed with sealant tools. Do not use fingers. Sealant manufacturer shall be performing site inspections to approved sealant applications.

D. TOUCH UP – All scratches shall be cleaned with denatured alcohol and touched up with manufacturers paint per manufacturers recommendations.

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E. WALL REPAIRS – Contractor shall be responsible to repair drywall surfaces damaged during fenestration replacement. Drywall shall be patched and sanded smooth. This work shall be as agreed between Unit owner and Contractor.

D. CLEAN UP – Site shall be left in clean condition. Floors shall be swept or vacuumed of all construction debris. All glass and frames shall be cleaned on the inside and outside.

Part 5. Products

5.1 Products General:

A. PRODUCTS- All products shall be delivered in original factory packaging bearing identification of product, manufacturer, batch number, and expiration date if applicable. Materials Safety Data Sheet for each product shall accompany all shipments. Storage of products shall be in a location protected from damage, construction activity, precipitation and direct sunlight in strict accordance with the manufacturer's recommendations. All products should be handled with appropriate precautions and care as stated on the Materials Safety Data Sheet. Do not use sealants if there is a possibility of rain or the surface has moisture.

5.2 Sealants and Flashing:

Perimeter sealant and bedding shall be **Tremco Dymonic FC for exterior seal**. This material shall be tinted to match window frame.

Buck Sealant shall be **Tremco Dymonic 100**.

Flashing Membrane shall be **Vulkem 45SSL**.

Consult Tremco representative for application and compatibility details.

5.3 Acceptable Window and Door Profiles:

A. Windows, Fixed and Project Out:

Final product shall be as designated in the Directive issued by the Board of Association. All hardware shall be "Coastal Package" stainless steel. Reinforcing within frames or mullions shall be stainless steel or aluminum and shall not be carbon steel.

Frame Profiles shall match existing as close as possible and shall not exceed the following:

Window Stile/Frame at Jamb, Top & Sill: 4 3/16"

Window Stile at Center Interlock: 6 9/16"

Perimeter Frame Depth: 2"

Windows shall have flat stile profile to match existing.

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NOTE: Refer to Association Directive for Acceptable Window and Door Replacement Contractors.

B. Balcony Swing Doors:

Final product shall be as designated in the Directive issued by the Board of Association. All hardware shall be "Coastal Package" stainless steel. Reinforcing within frames or rails shall be stainless steel or aluminum and shall not be carbon steel.

Frame Profiles shall match existing as close as possible and shall not exceed the following:

Door Rail/Frame at Jamb, Top & Sill:	5 5/8"
Perimeter Frame Depth:	6"

NOTE: Refer to Association Guidelines for Acceptable Window and Door Replacement Contractors.

Note: Door Closures shall be provided as an option for all balcony doors. Closers shall be coastal grade hardware. Closure shall be selected by Owner from samples.

C. Paint:

All aluminum shall have **PPG Duranar Mizner Green UC122147** liquid or powder coating to meet AAMA 2605 Coastal Specifications. Color to match sample approved by the Board and CAB.

D. Glass:

Glass shall be 7/16" laminated large missile impact resistant. See Section 2.4 for Tint requirements.

E. Fall Protection for Windows:

For all windows with a sill less than 36" above finished floor inside the unit, fall protection shall be provided. Install a limit stop to prevent windows from opening more than 4". Limit stop shall prevent a 4" sphere from passing through the window. This shall apply for all windows from the second floor and above.

5.4 Quality of Products and Glass Distortion

All fenestration products shall be new and in factory condition. No damaged products shall be installed. Glass shall be flat and relatively distortion free. Any distorted glass not deemed acceptable by the Engineer shall be replaced by the contractor at no cost to the association.

Silicone seals shall be neat and clean. Gaskets and hardware shall be new.

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5.5 Spare Parts

Contractor shall provide to the Unit Owner, spare parts for the windows and sliding glass doors. This shall consist of rollers, locks, handles and any misc. hardware which may need to be replaced. The manufacture shall ship to the jobsite.

Part 6. Shutters

6.1 Requirements General

A. SCOPE – Existing shutters shall be removed from building. Removal shall include all tracks, frames and perimeter anchors.

All anchor holes shall be cleaned with compressed air and filled with Tremco Dymonic FC sealant. Do not leave partial anchors in the holes.

Part 7. Miscellaneous

A. SITE CONDITIONS - The Contractor is responsible for removing all his waste materials from the Association property. If Contractor requires a dumpster, the location and duration to be pre-approved by Association. The Contractor shall arrange for immediate removal of dumpster when full. The Contractor shall coordinate with Owner and Manager the starting and quitting times as well as weekend work and employee parking. Tentatively, the hours shall be 8:00 am - 5:00 p.m. There shall be no work permitted on Sundays, or on any religious holidays as may be required by the Association. Any removal of windows, doors, screen enclosures, etc. must be clearly taped off for safety reasons. All scaffolding which is erected for a work platform, or work areas shall be considered a hazardous area and shall be fenced off with signage indicating the area is off limits except to authorized personnel.

Contractor to apply to Association for a storage area for glazing products. Such storage area shall be secured and locked as part of the Contractor's responsibility.

B. CLEAN UP- Contractor shall maintain a daily regiment of clean up at the end of each day. If there are areas which cannot be totally cleaned up then yellow tape must be placed for safety purposes.

C. INSPECTIONS- Site inspections shall be performed by a representative of the Association (at this time it shall be Bromley-Cook Engineering) and/or the Boca Raton Building Department. Inspection fees shall be determined prior to the Work beginning and paid to the Association by Unit Owner or Contractor.

Inspections shall include but are not limited to:

- a. Buck installation at doors and windows: Check for tapcon installation and buck sealants.

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- b. Window and Door installation: Check for anchor embedment, shim installation, sealant, proper operation of units and sealants.
- c. Product: Check for labels, proper stops and seals, proper glass type, weeps, drains and locks. Only visible areas will be checked.
- d. Final inspection to be performed by the City of Boca Raton for completion of permit requirements.

The Contractor shall inform the inspector of progress and maintain contact through daily or weekly phone calls as required. The Contractor shall not cover or conceal any Work until it has been inspected and approved in writing. Contractor is responsible for proper scheduling all inspections. NOTE: Inspections shall be limited time inspections and shall occur randomly during the project. An Inspector will not be on site at all times unless requested by the Association or Unit Owner.

D. DOCUMENTS- The Association ("Client") may make and retain copies for information and reference; however, such documents are not intended or represented to be suitable for reuse by the Client or others. Any reuse or adaptation without written permission by this Firm for the specific purpose intended will be at the Client's sole risk and without liability or legal exposure to us, the Engineer, or to our independent professional associates or consultants.

E. WATER TESTING- Field water testing is recommended to be performed as soon as possible after the start of the project. Testing shall be in accordance with AAMA 501.2-94. 1 window and 1 door shall be initially tested. The costs of testing shall be paid by the Association and contracted with the window manufacturer prior to the start of the project.

Field testing of installed products shall be to 12 psf or as determined by the Engineer.

Contractor shall hose test all windows and doors after full installation and cure of all sealants. This shall be performed at the contractors cost and shall be witnessed by Association or Owner Representative and documented in writing signed by the inspector.

Part 8. Drawings and Details

General Drawings for window and door replacement as prepared by Bromley Cook shall be used in coordination with these specifications. In the event of discrepancies between drawings and specifications, the more stringent shall apply.

Contractor shall be responsible to provide detailed replacement drawings for permit which shall include but not be limited to the following: Unit Plan, Fenestration elevations, sections, details, anchoring details and notes. These shall be sealed by a Florida Registered Engineer. Contractor shall be responsible to obtain a Permit with all proper documentation.

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These drawings shall be approved for compliance by the Association prior to any installation.

Part 9. Deviations from Specifications:

Any deviations from these specifications or the Association Directive as related to window and door frame profile, size, color and glass color shall require an approval of the Board of Directors and the City of Boca Raton Community Appearance Board (CAB).

Part 10. Contractor Acceptance of Specifications

As the Contractor of Record for the replacement of windows and doors for **Unit # _____**, a signature by Contractor denotes that the specifications have been read and understood and Contractor hereby promises to perform his Work in strict compliance therewith.

The Contractor affirmatively states: Neither Mizner Court, any of its Directors, Officers, employees, unit-owners or lessors, contractors whatsoever has received or will receive any compensation, contribution, or favorable treatment in connection with the granting, implementing or execution of this contract or any previous agreement with the Association.

We acknowledge the Association has no obligations with respect to this agreement and we acknowledge the Association is a beneficiary of this agreement and is relying on strict compliance by this contractor, without which the Association may be exposed to significant monetary damages.

Executed this _____ day of _____, 2015
Contractor Name: _____
Street Address: _____
City, State _____
Phone Numbers: _____
License number: _____

By: _____
Contractor Representative

Mizner Court General Specification

In order for this document to be included as a part of any agreement for the replacement of doors and/or windows in a dwelling unit at Mizner Court, it must be signed and dated by the Association in their capacity as Association.

Executed this _____ day of _____, 201 -

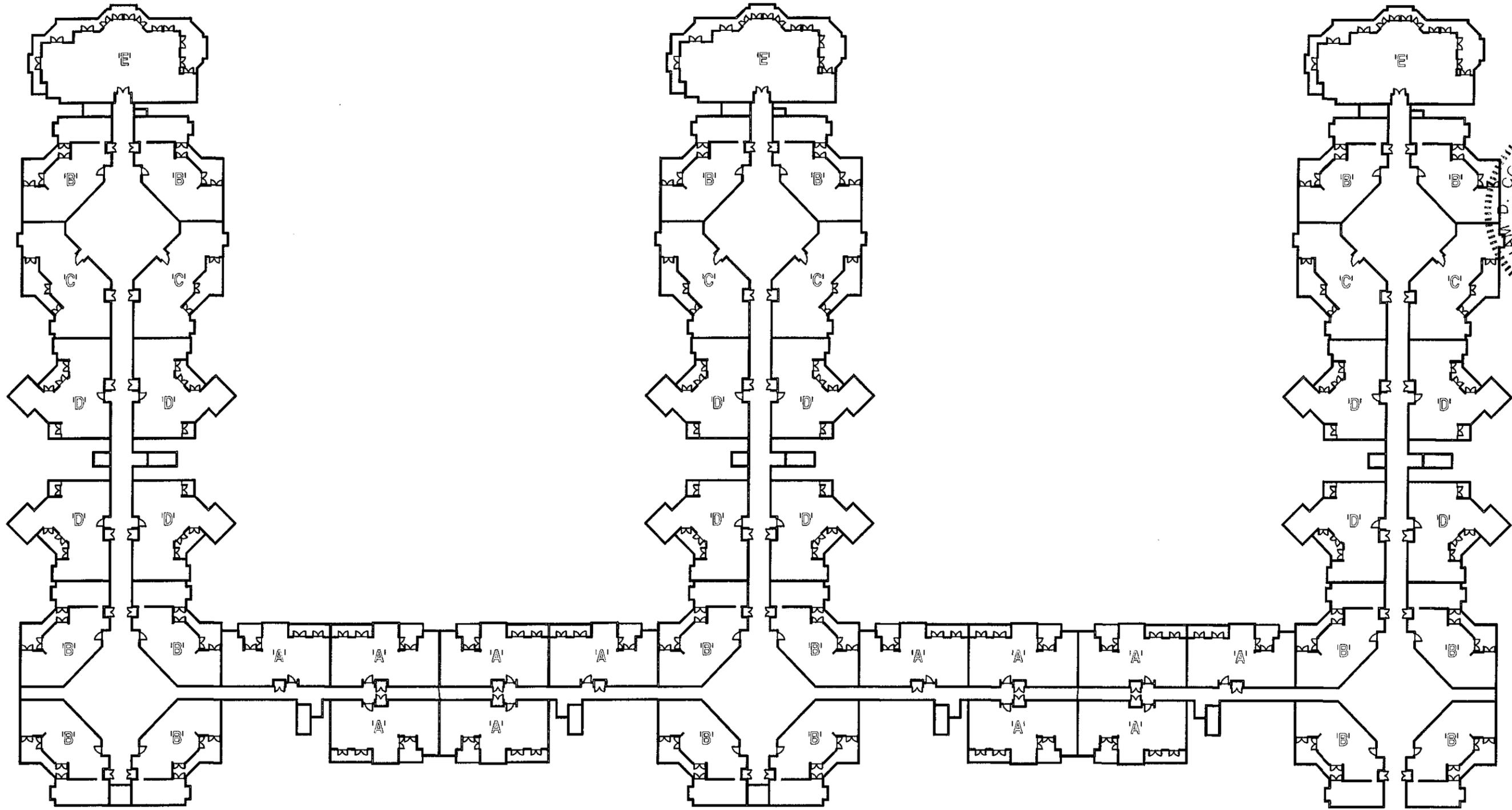
By: _____
Association Representative

In order for this document to be included as a part of any agreement for the replacement of doors and/or windows in a dwelling unit at Mizner Court, it must be signed and dated by the unit Owner in their capacity as Owner acknowledging their responsibilities to the Association as noted herein.

Executed this _____ day of _____, 201 -

Printed name: _____, Unit # _____

By: _____
Unit Owner



OVERALL PLAN

REFER TO INDIVIDUAL UNIT WINDOW AND DOOR REPLACEMENT DRAWINGS FOR ALL WINDOW AND DOOR SIZES AND LOCATIONS FOR UNITS "A THRU E"

N.T.S.



NO.	DATE	DESCRIPTION



STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 WILLIAM D. COOK
 LICENSE NO. 43904

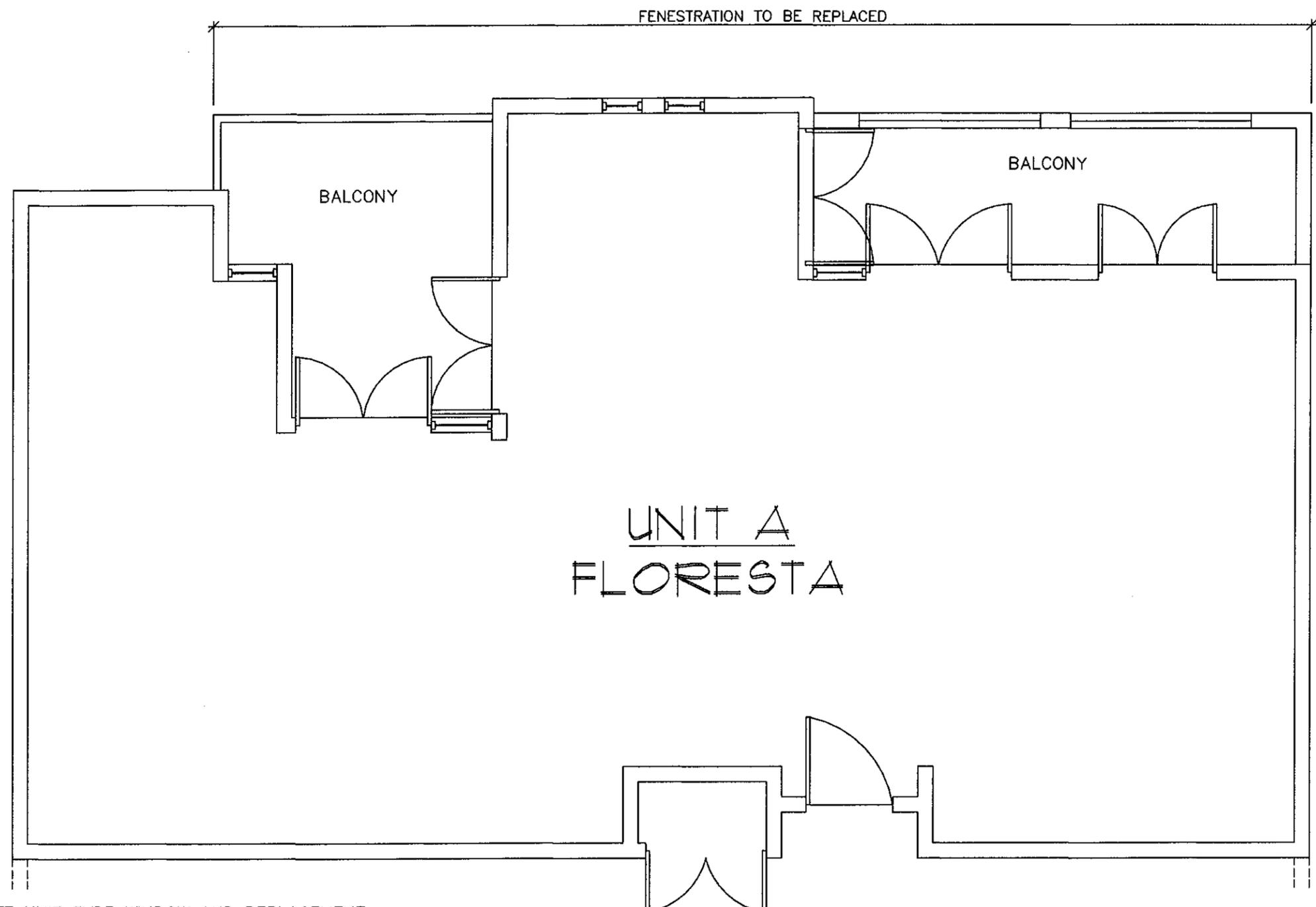
BROMLEY . COOK ENGINEERING, INC.
STRUCTURAL ENGINEERING SERVICES
 5440 N.W. 33rd AVENUE
 SUITE #100
 FORT LAUDERDALE, FL 33309
 TEL: (954) 772-4624 FAX: (954) 772-4634
 CERT. OF AUTH. #00009124

PROJECT:
 WINDOW & DOOR REPLACEMENT
 MIZNER COURT CONDOMINIUM
 100-120-140 S.E. 5th AVENUE
 BOCA RATON, FLORIDA

DATE: 6/10/15
 DRAWN BY: M.G.
 CHECKED BY: W.D.C.
 SCALE: AS NOTED

FLOOR PLAN
 DRAWING NAME

SHEET
 2 OF 9



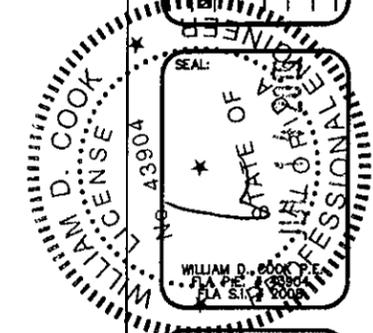
UNIT A
FLORESTA

SEPARATE UNIT TYPE WINDOW AND REPLACEMENT DRAWINGS FOR INDIVIDUAL UNITS SHALL BE SUBMITTED FOR UNIT TYPES A THRU E

FOR ALL WINDOW AND DOOR SIZES AND TYPES REFER TO THE INDIVIDUAL UNIT WINDOW AND DOOR REPLACEMENT DRAWINGS UNDER SEPARATE COVER

TYP. FLOOR PLAN (2ND-4TH FLOORS)
UNIT 'A'

REVISIONS	DESCRIPTION



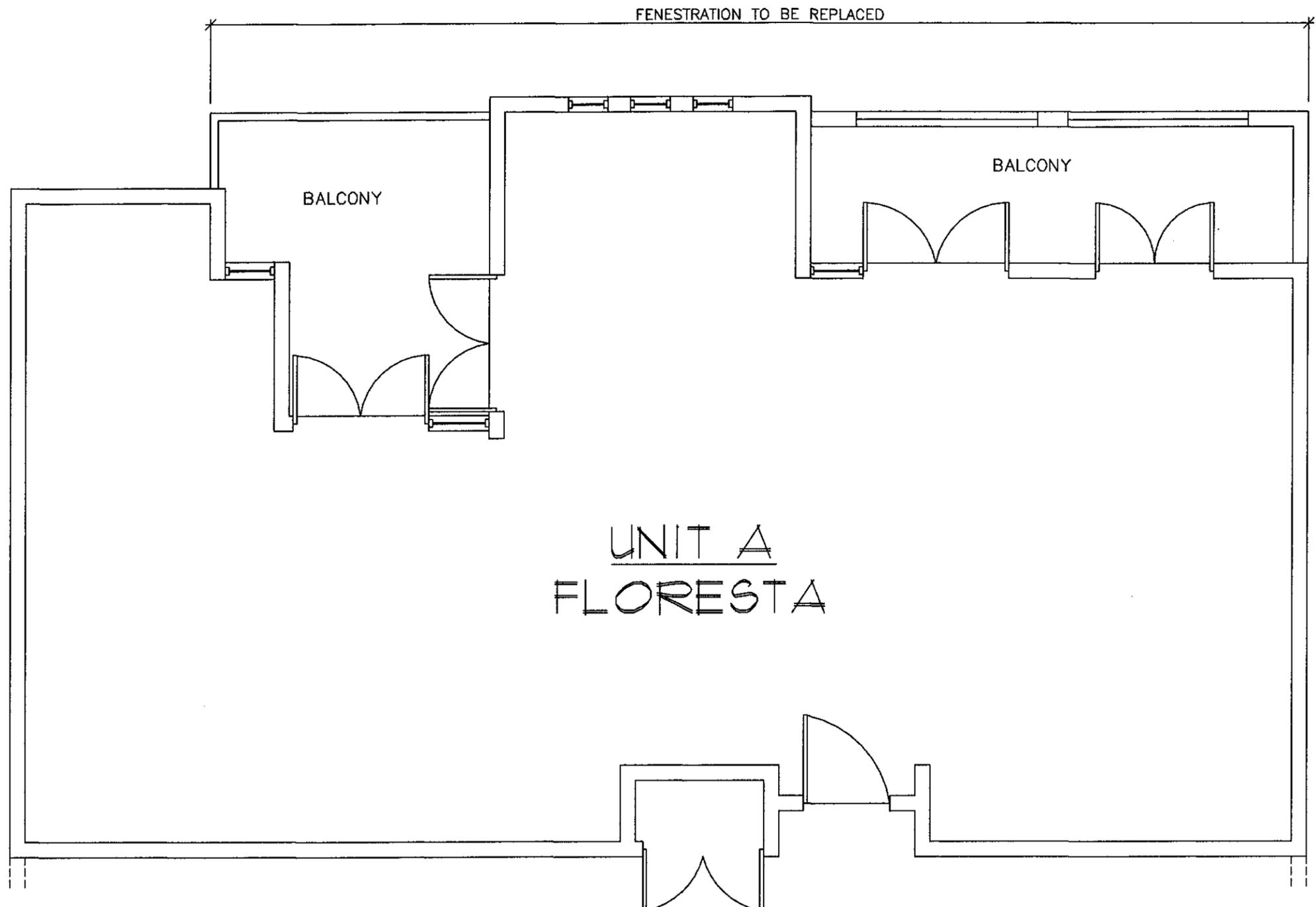
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 3 OF 9

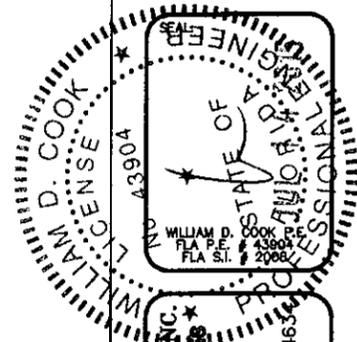


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 TYP. FLOOR PLAN (5TH FLOOR)
 UNIT A 3/16" = 1'-0"

NO.	DATE	REVISIONS DESCRIPTION



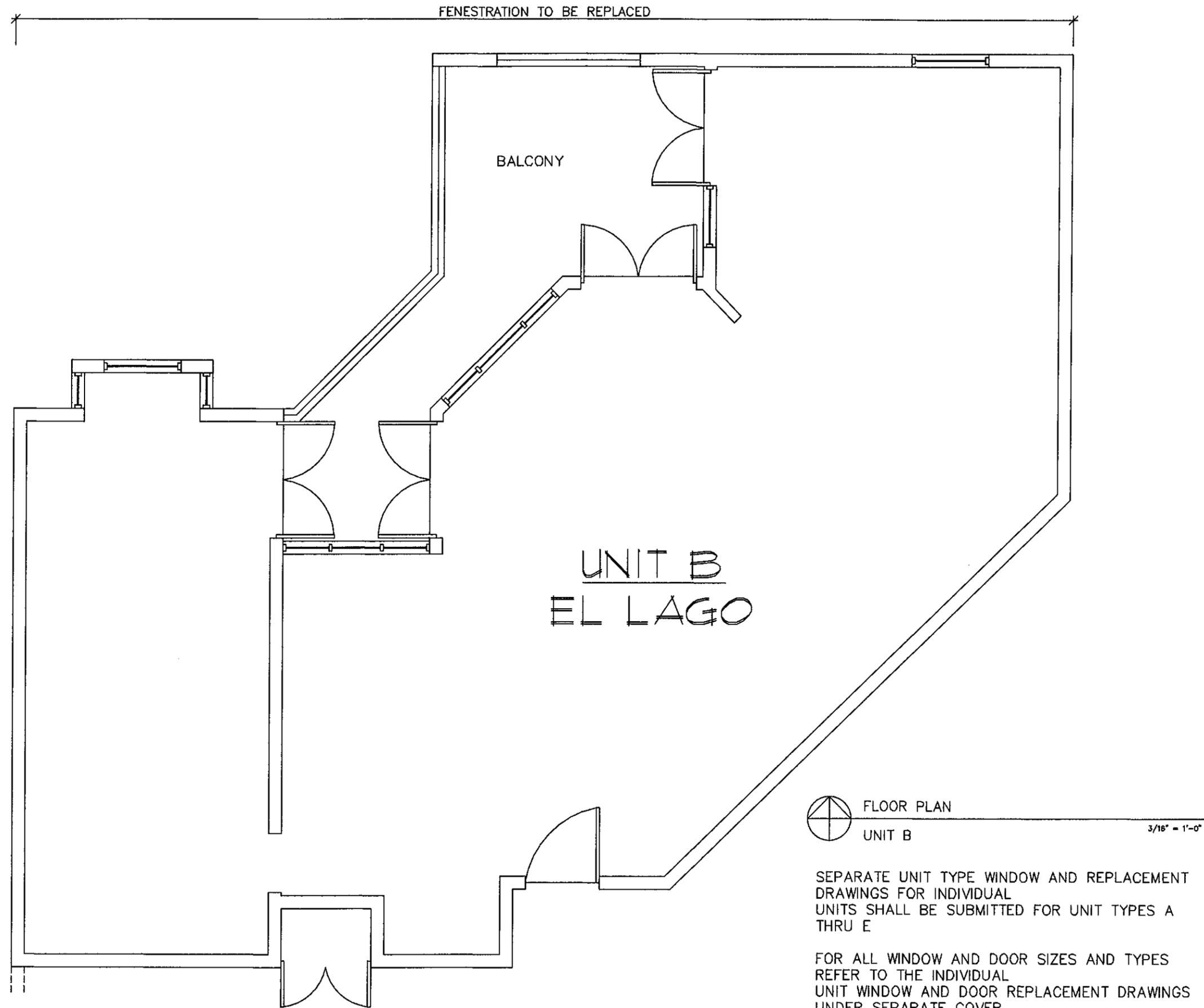
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 SCALE: AS NOTED

FLOOR PLAN
 DRAWING NAME

SHEET
 4 OF 9



FENESTRATION TO BE REPLACED

BALCONY

UNIT B
EL LAGO



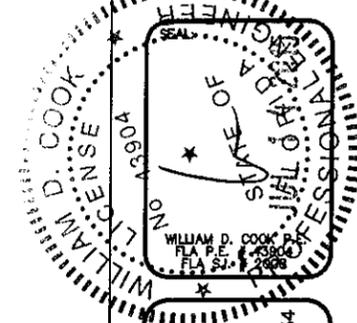
FLOOR PLAN
UNIT B

3/16" = 1'-0"

SEPARATE UNIT TYPE WINDOW AND REPLACEMENT DRAWINGS FOR INDIVIDUAL UNITS SHALL BE SUBMITTED FOR UNIT TYPES A THRU E

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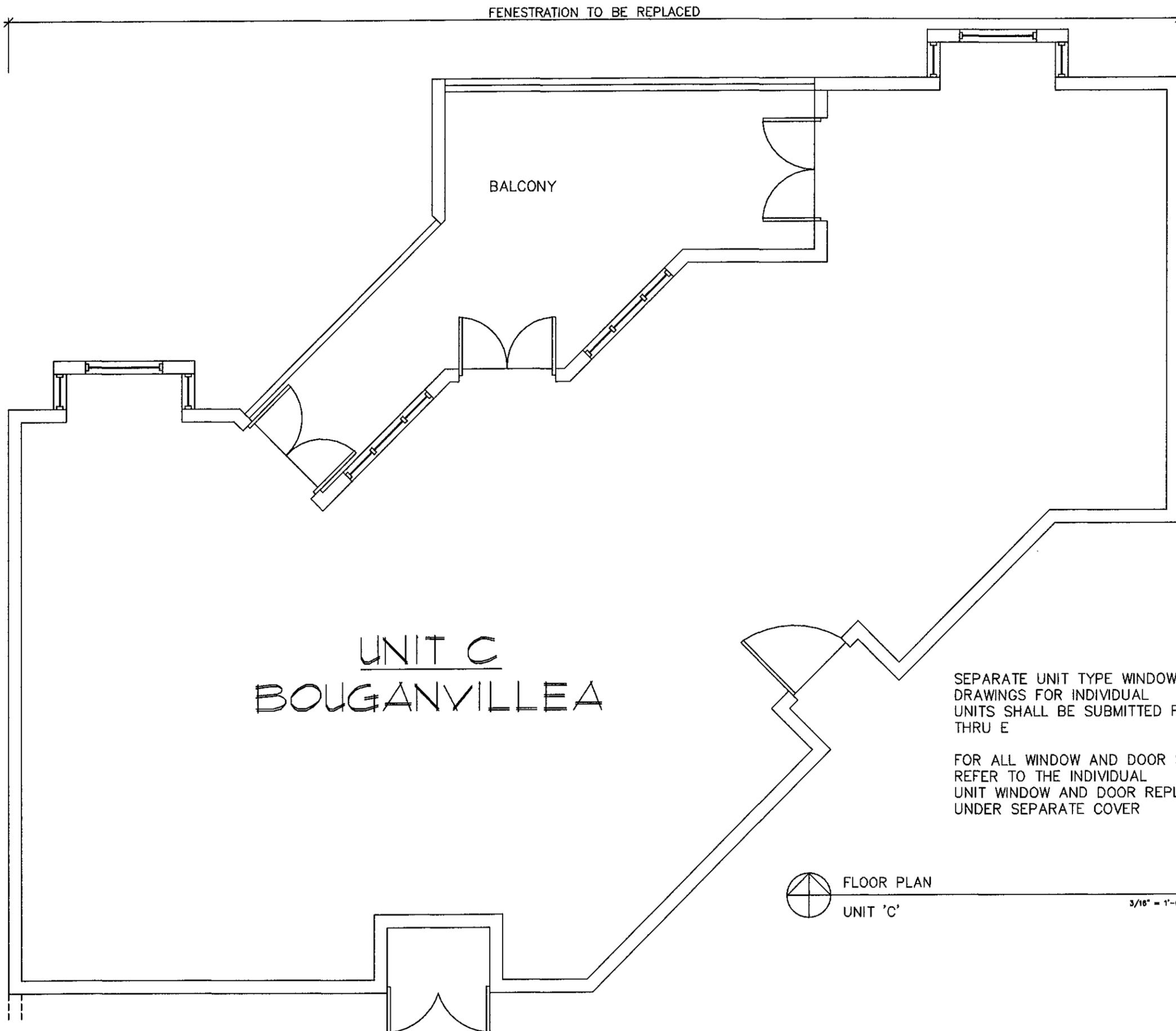
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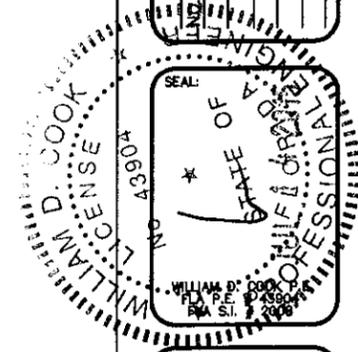
FLOOR PLAN
 DRAWING NAME

SHEET
 5 OF 9



 FLOOR PLAN
 UNIT 'C'
 3/16" = 1'-0"

NO.	DATE	REVISIONS	DESCRIPTION



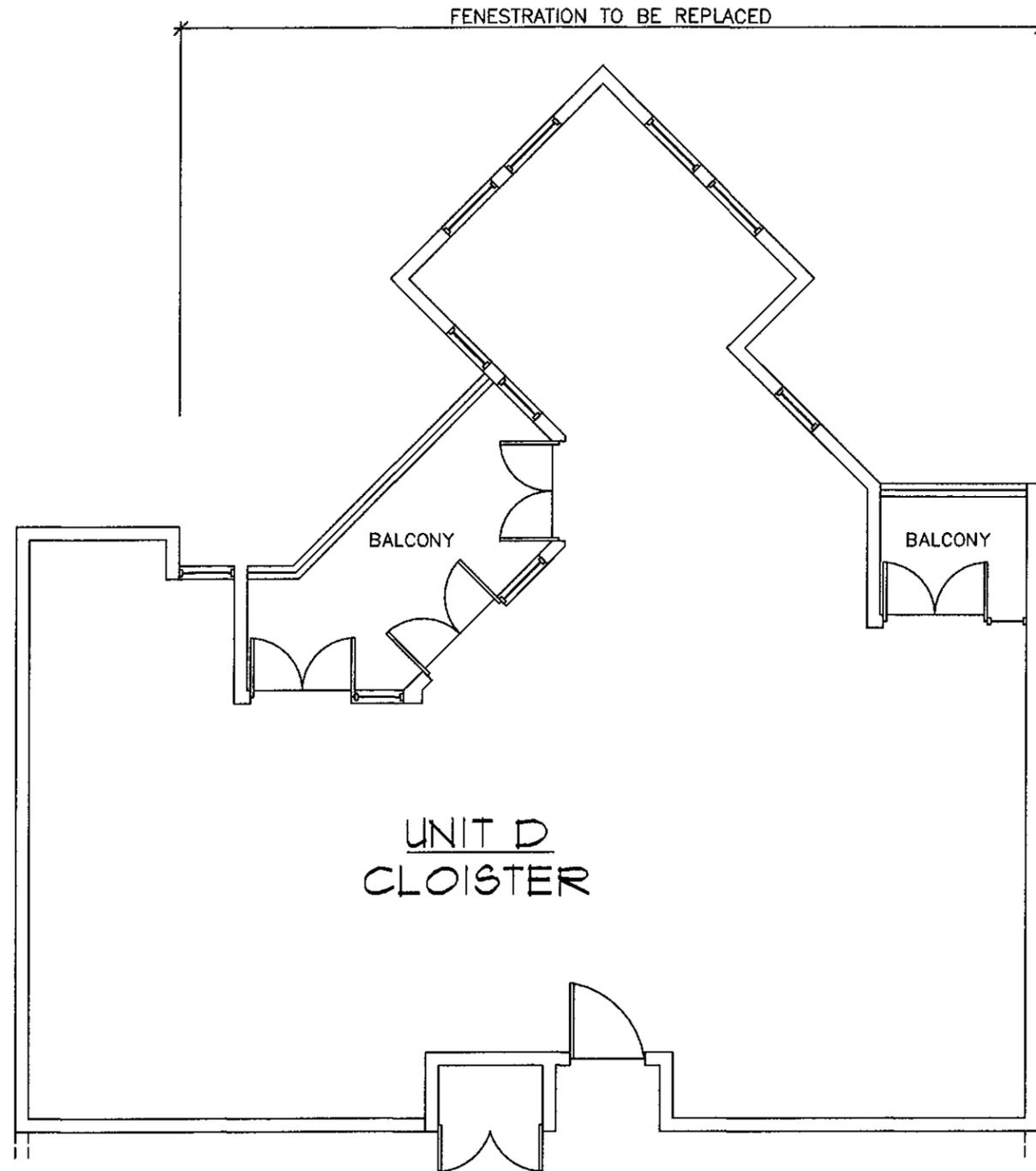
BROMLEY, COOK ENGINEERING, INC.
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 BOCA RATON, FLORIDA

DATE: 8/10/16
 DRAWN BY: M.G.
 CHECKED BY: W.D.C.
 SCALE: AS NOTED

FLOOR PLAN
 DRAWING NAME

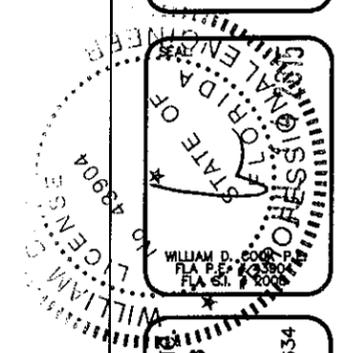
SHEET
 6 OF 9




 TYP. FLOOR PLAN (1ST-4TH FLOORS)
 UNIT 'D' 1/8" = 1'-0"

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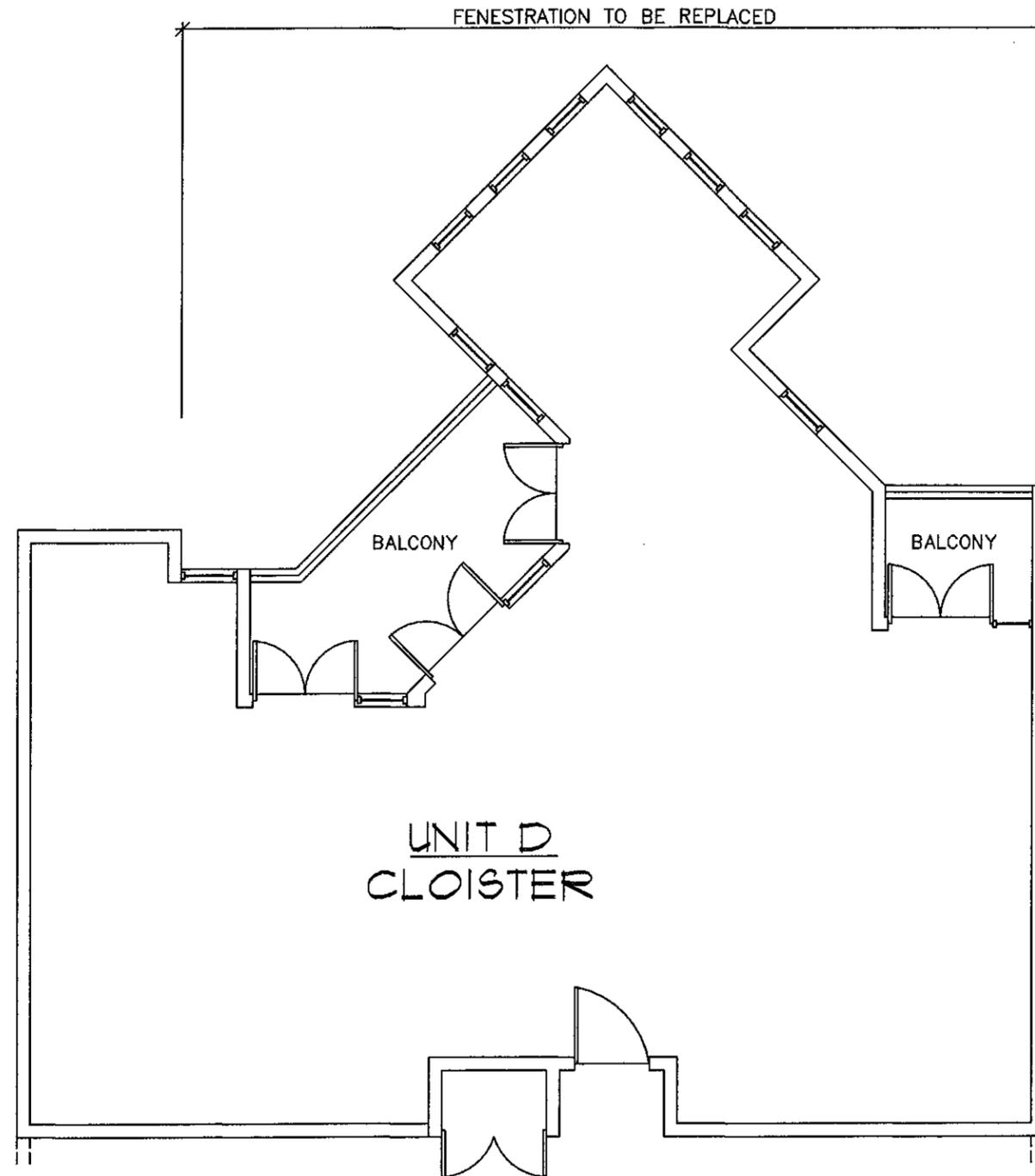
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FLOOR PLAN
 DRAWING NAME

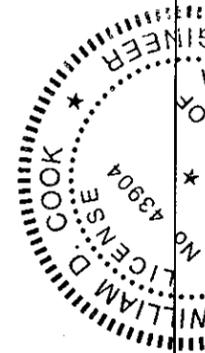
SHEET
 7 OF 9



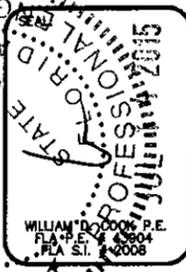
 TYP. FLOOR PLAN (5TH FLOOR)
 UNIT 'D' 1/8" = 1'-0"

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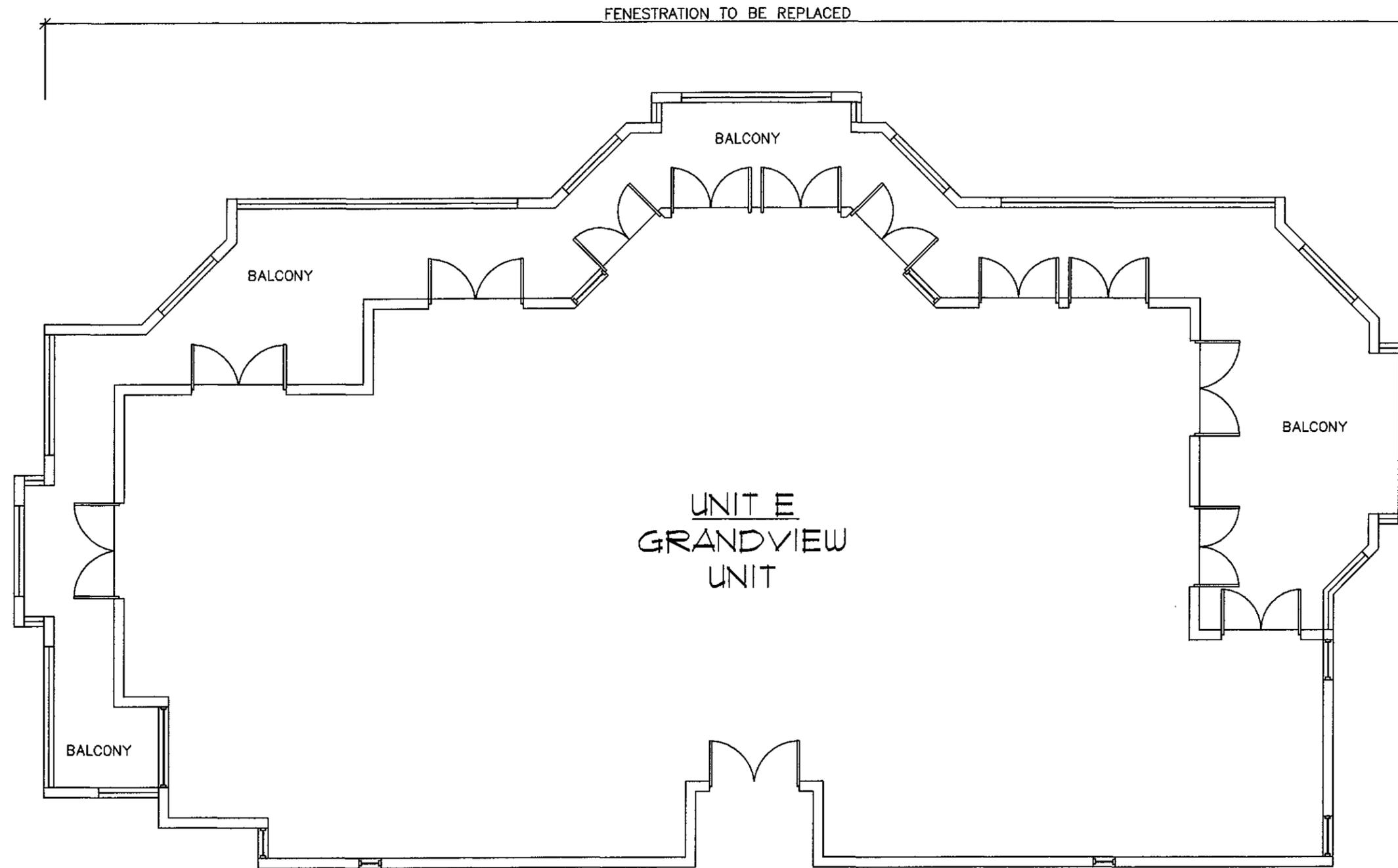
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FLOOR PLAN
DRAWING NAME

SHEET
8 OF 9



UNIT E
GRANDVIEW
UNIT

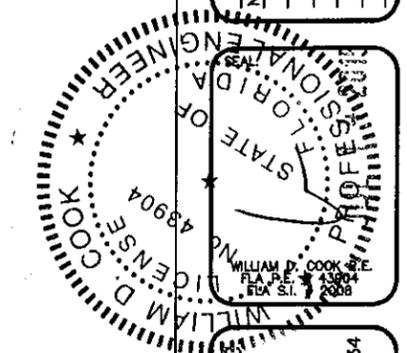
FLOOR PLAN
UNIT E

1/8" = 1'-0"

SEPARATE UNIT TYPE WINDOW
AND REPLACEMENT DRAWINGS
FOR INDIVIDUAL
UNITS SHALL BE SUBMITTED FOR
UNIT TYPES A THRU E

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SIZES AND TYPES REFER TO THE
INDIVIDUAL
UNIT WINDOW AND DOOR
REPLACEMENT DRAWINGS UNDER
SEPARATE COVER

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